

20/00016/FUL

Erection of first floor extension to 35 Church Road to provide 3 one bedroomed residential apartments.

35 Church Road

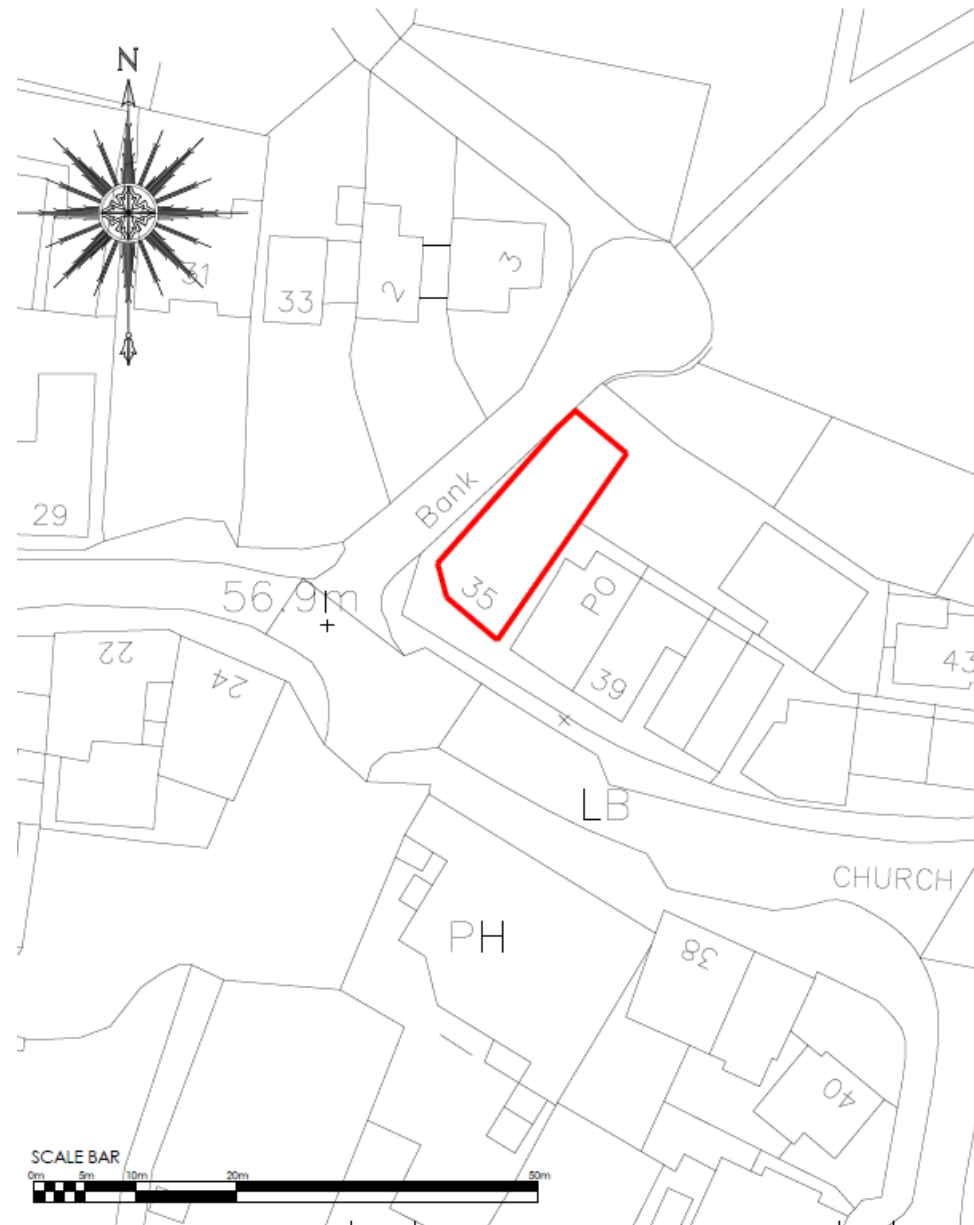
Bishops Cleeve

Cheltenham

Gloucestershire

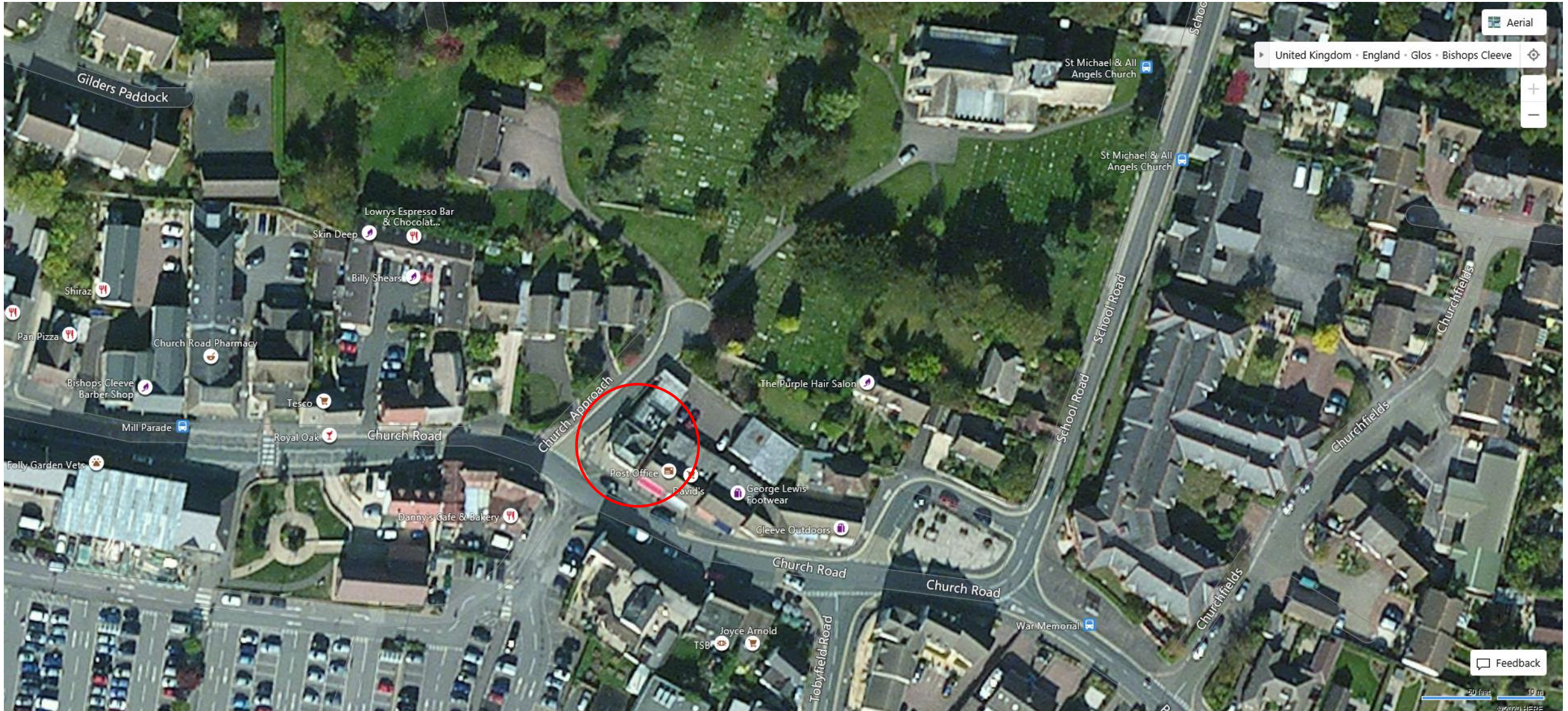
GL52 4LP

# Location plan



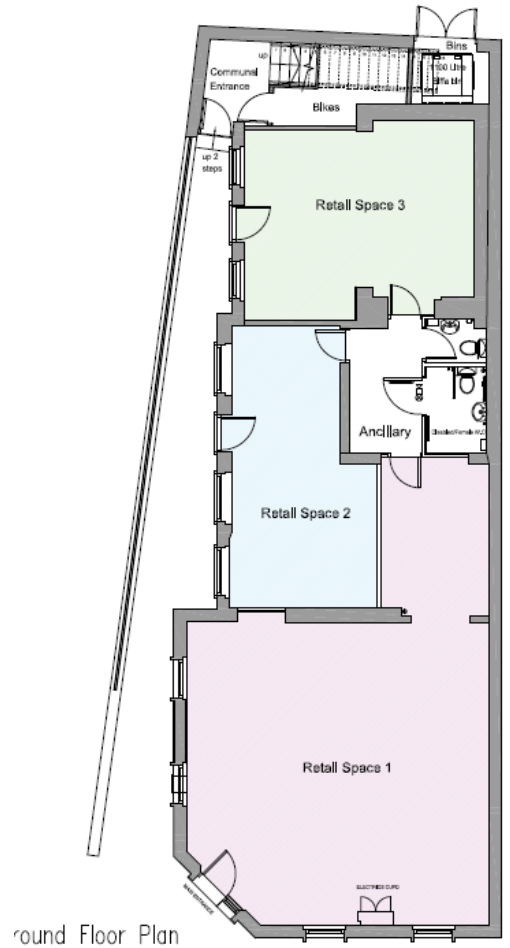


# Aerial View



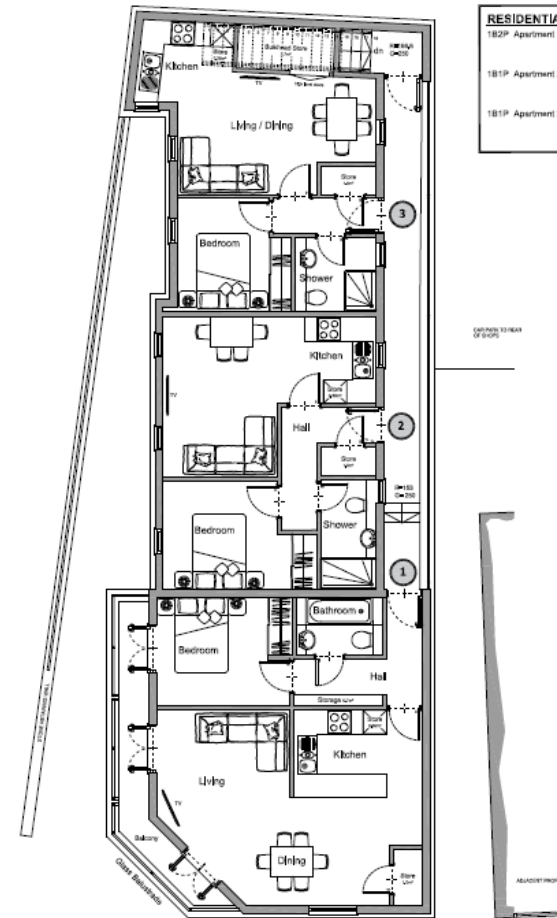


# Proposed Floor Plan



RETAIL GROSS INTERNAL AREAS	
Retail Space 1	= 68.4m <sup>2</sup> / 736 sq.ft.
Retail Space 2	= 23.4m <sup>2</sup> / 252 sq.ft.
Retail Space 3	= 27.2m <sup>2</sup> / 294 sq.ft.
Ancillary	= 11.7m <sup>2</sup> / 126 sq.ft.

Ground Floor Plan



RESIDENTIAL GROSS INTERNAL AREAS	
1B2P Apartment 1	= 50.0m <sup>2</sup> / 538 sq.ft. Storage 2.0m <sup>2</sup>
1B1P Apartment 2	= 37.3m <sup>2</sup> / 401 sq.ft. Storage 1.0m <sup>2</sup>
1B1P Apartment 3	= 37.3m <sup>2</sup> / 401 sq.ft. Storage 1.8m <sup>2</sup> (+ 5.7m <sup>2</sup> Bulkhead Store)

First Floor Plan

**CPLC**  
ASSOCIATES  
The Bungalow, 87a Station Road  
Bishops Cleeve, Chalfenham, GL52 8HJ.  
Telephone : 01242 672 333

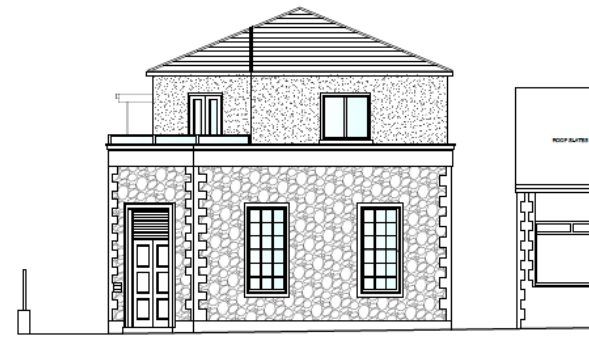
Rev	Date	Description	Drawn	Checked
Project/Client:		35 Church Road, Bishops Cleeve GL52 8NE	Drawn By: MAC	Date: 24.10.2018
Drawing:		Proposed Ground & First Floor Plans	Scale: 1:100@A2	Drawing No: FP303
			Project No: 1859	Revis A

# Proposed Elevations

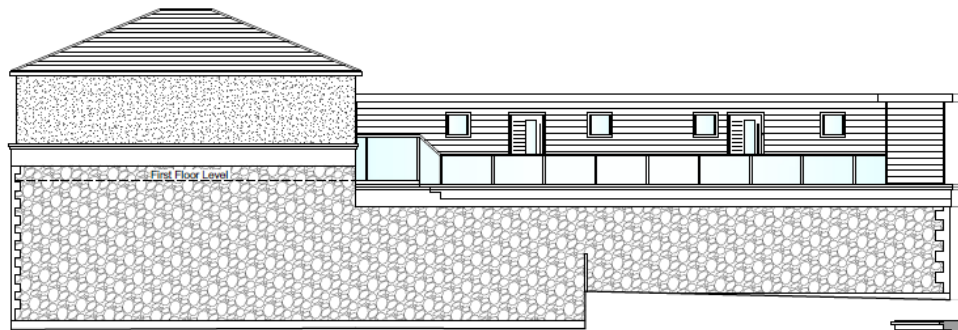


Elevation C:C

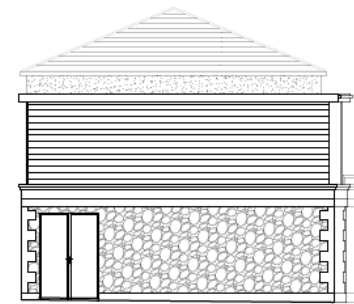
Glass balustrade omitted for fenestration clarity



Elevation D:D

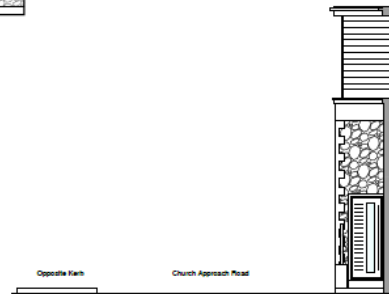
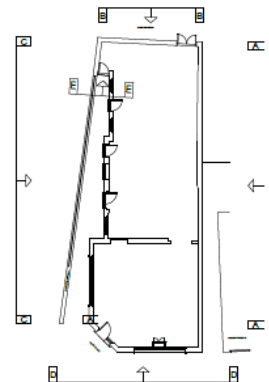


Elevation A:A



Elevation B:B

**PROPOSED MATERIALS**  
 Aluminium/UPVC Windows & Doors  
 Colour coated Rainwater Goods  
 Glass Balustrade on Stainless Steel Posts  
 White Through-Coloured Render  
 GRP Roof  
 Natural cladding  
 Interlocking Roofing Slates



Elevation E:E

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 Bishops Cleeve, Cheltenham, GL52 8HJ.  
 Telephone : 01242 672 333  
 cplc@cplc-associates.com

C	05.03.20	Updated to match revised plans. Pitch roof added.	SLW		
B	11.12.19	Proposal materials added. Cladding removed from FF corner.	SLW		
A	05.11.19	Proposal updated to current scheme.	SLW		
Rev:	Date:	Description:	Drawn:	Checked:	
Project/Client:			Drawn By:	Date:	Checked By:
35 Church Road, Bishops Cleeve			MAC	24.10.2018	
GL52 8NE			Scale:	Drawing No:	Revision:
Drawing:			1:100@A3	EL401	C
Proposed Elevations			Project No:		
			1859		



# Photo montage - existing





# Photo montage- proposed





# Photos





# Site Photos



# Site Photos

